



**DEVELOPMENT
TASKFORCE
MONTHLY MEETING
SEPTEMBER 15, 2023**

GOOD OF THE ORDER:

Parks & Recreation

Engineering Services

Solid Waste

CCW

Fire Department

Public Works

Renee Couture

(Assistant Director – Traffic)

❖ *Brief on ROW Permitting*

Paul Vandehey

(Maintenance & Operations Superintendent – Gas)

❖ *Meter Set Requests*





Public Works Department



Discussion on Right-of-Way (ROW) Permits



DEVELOPMENT TASK FORCE
September 15, 2023



TOPICS

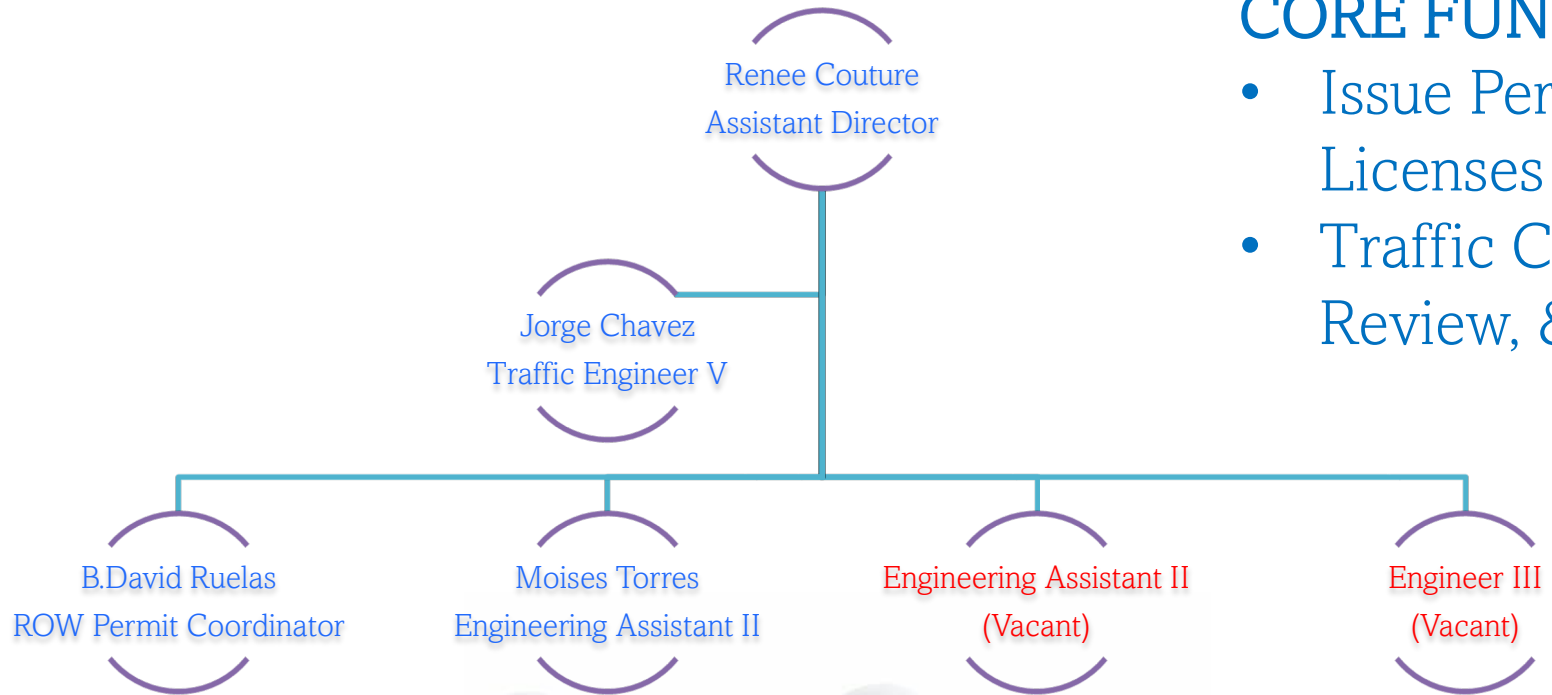


- ❖ ROW Management Team
- ❖ ROW Policy
- ❖ Permit/License Types
- ❖ Current & Proposed Process
- ❖ Street Cut Policy Update





ROW MANAGEMENT



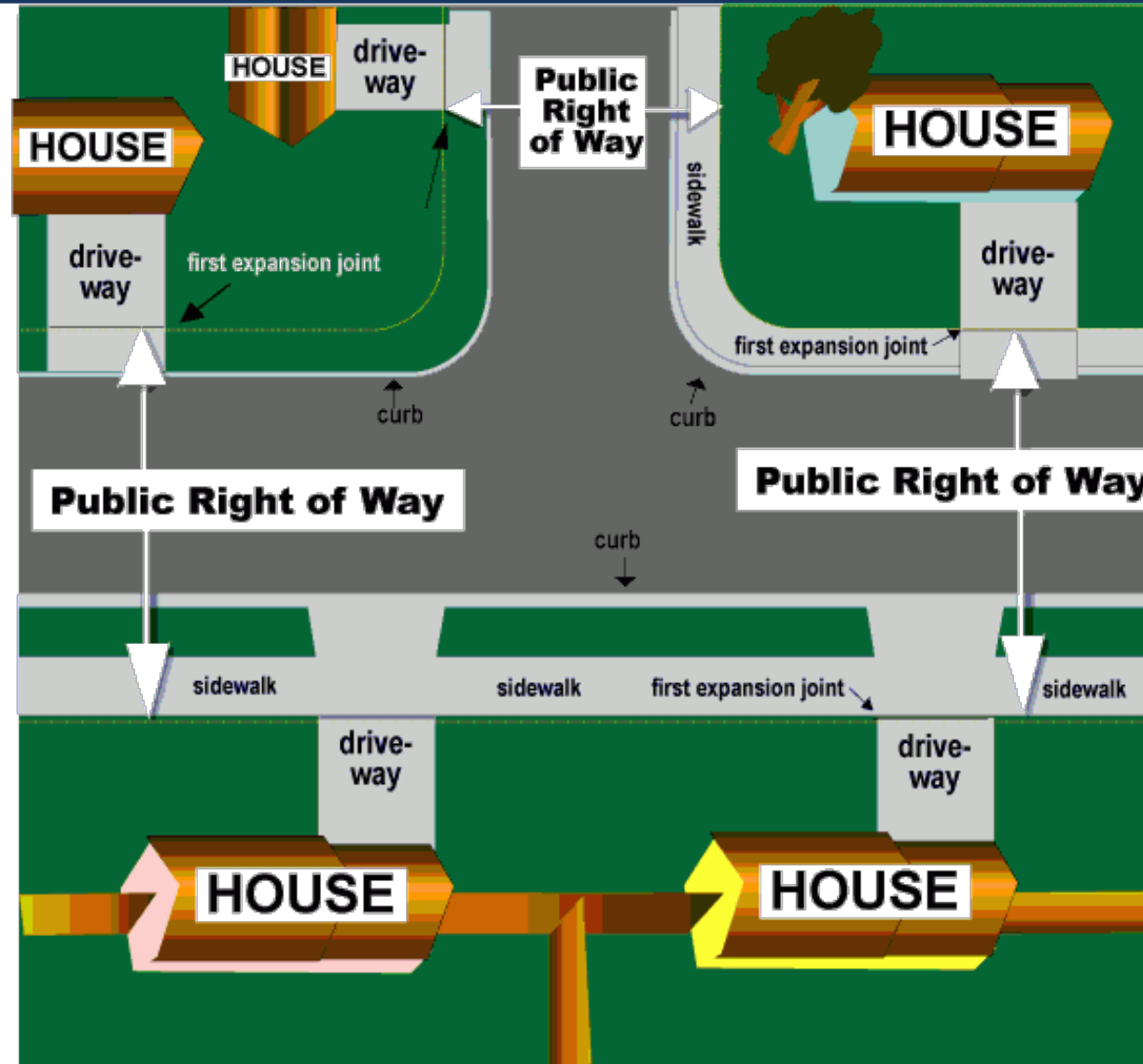
CORE FUNCTIONS

- Issue Permits & Licenses
- Traffic Control Planning, Review, & Inspection





ROW POLICY





ROW POLICY



- ❖ **Sec. 49-2. - Obstructions, closures or encroachments in city right-of-way.**
 - Prohibits obstruction, construction, encroachment, placement or permitting any object, infrastructure or facility within the right-of-way.
 - Public Works responsible for ROW management.

- ❖ **Sec. 49-3. - Procedures and standards for the closing or partial blocking of public streets, thoroughfares, sidewalks alleys, and city right-of-way.**
 - Compliance w/Texas Manual on Uniform Traffic Control Devices (TMUTCD) regardless of complete or partial closure or ROW.
 - Traffic Control Plan (TCP) developed by licensed PE, in Texas. Must be knowledgeable about TMUTCD principles.
 - Barricading services implemented by trained/certified individuals.

- ❖ **Sec. 49-112. - Right-of-way management fees¹**
 - \$45 Registration Fee
 - \$95 Application Fee
 - \$1500 Non-compliance/Violation Fee



1. See full list of fees in Section 49-112



PERMIT/LICENSE TYPES



TYPICAL DEVELOPMENT RELATED ROW ACTIVITIES

- ★ Street (Utility Excavation) Cuts
- ★ Dumpster & PODS
- ★ Façade Maintenance
- ★ Pedestrian Walkway
- ★ Fencing
- ★ Mobile Crane/Bucket Truck/Tower Crane
- ★ Encroachment Licenses

OTHER ROW ACTIVITIES

- Aerial Fiber Install
- Utility Pole Install
- Public Art
- Monitor Wells
- Pipeline License Agreements
- Mobile Vending (Street ROW)
- Sidewalk Café
- Parklet/Pedlet
- Overhead Banner

PROPOSED ACTIVITIES¹

- Driveways (Sidewalk & Apron)
- Oversized Loads
- Haul Routes
- Small Cells

1. Proposed activities that ROW Management will adopt (in phases) after October 1, 2024.



CURRENT ROW PROCESS



1. Contact Right-of- Way Management Team
 - ROWManagement@cctexas.com
 - Jorge Chavez (361.826.3394)
 - B.David Ruelas (361.826.3546)
 - General (361.826.3547)
 - Submittal Requirements (Application, Fees, TCP, Construction Plans, Certificate of Insurance)
 - Pollution Liability Insurance Required for Excavation >36 inches
2. Submit Application (ROWManagement@cctexas.com)
3. Review Period (30 Business Days)
4. Issuance Prep (Payment of Fees)¹
5. Permit Issuance ²
6. Inspection (Engineering Services) ³

1. In-person @ City Hall unless currently registered in INFOR (DS Portal).
2. 30 Days unless specified in permit.
3. Typically for Street Cuts & Construction Only. ROW Management will inspect for compliance with permit terms.



PROPOSED ROW PROCESS



1. Contact Right-of- Way Management Team

- ROWManagement@cctexas.com
- Jorge Chavez (361.826.3394)
- B.David Ruelas (361.826.3546)
- General (361.826.3547)
- Submittal Requirements (Application, Fees, TCP, Construction Plans, Certificate of Insurance)

2. Submit Application (ROW Permitting Software)

3. Review Period (TBD)¹

4. Issuance Prep (Payment of Fees)²

5. Permit Issuance (TBD)³

6. Inspection (Engineering Services, ROW Team)⁴

1. New process will address review periods for each type.
2. Payment online via ROW Management permitting software or in-person at City Hall.
3. New process will specify minimum duration for each permit type, extension and renewals.
4. New process will specify Departments responsible for inspection of work in ROW.



STREET CUT POLICY



- ❖ **Work Requirements (Sec. 49-55) for Excavation (Street Cuts):**
 - Excavation/Cut shall repair impacted trench and:
 - ✓ Full lane for parallel cuts (asphalt streets)
 - ✓ Twelve (12) feet for perpendicular cuts (asphalt streets)
 - Full panel (concrete streets)
 - Work shall be guaranteed and warranted for two (2) years from date of completion (City can still pursue repairs if there were defects in work).
 - Placement of steel plate for temporary surface for excavation requires a permit.
 - Permit may be revoked/stopped where there is a threat to public health/safety.
 - ✓ Pollution Liability Insurance Required for Excavation >36 inches

CURRENT POLICY APPLICABLE TO ALL STREETS WHERE PERMITS ARE GRANTED.

- *PCI <85*
- *Arterials & Collectors where last maintenance was performed over 7 Yrs*
- *Residential where last maintenance was performed over 5 Yrs*



STREET CUT POLICY



- ❖ **Newly Constructed/Reconstructed Streets (Sec. 49-47):**
 - **No permit** should be issued to street constructed, reconstructed, repaved or resurfaced up to the **preceding seven (7) years from date of acceptance.**
 - **Pavement Condition Index (>85)**
 - Owners shall determine alternate methods of repairs and facility installations.
 - Exceptions granted by Director and subject to special conditions (e.g. coordination with other excavations, requirements to restore to street “as new”) for:
 - Emergencies
 - Providing service to buildings (if not other reasonable means is determined)

CURRENT POLICY REQUIRES A VARIANCE TO EXCAVATE NEW STREETS

Applicant required to provide:

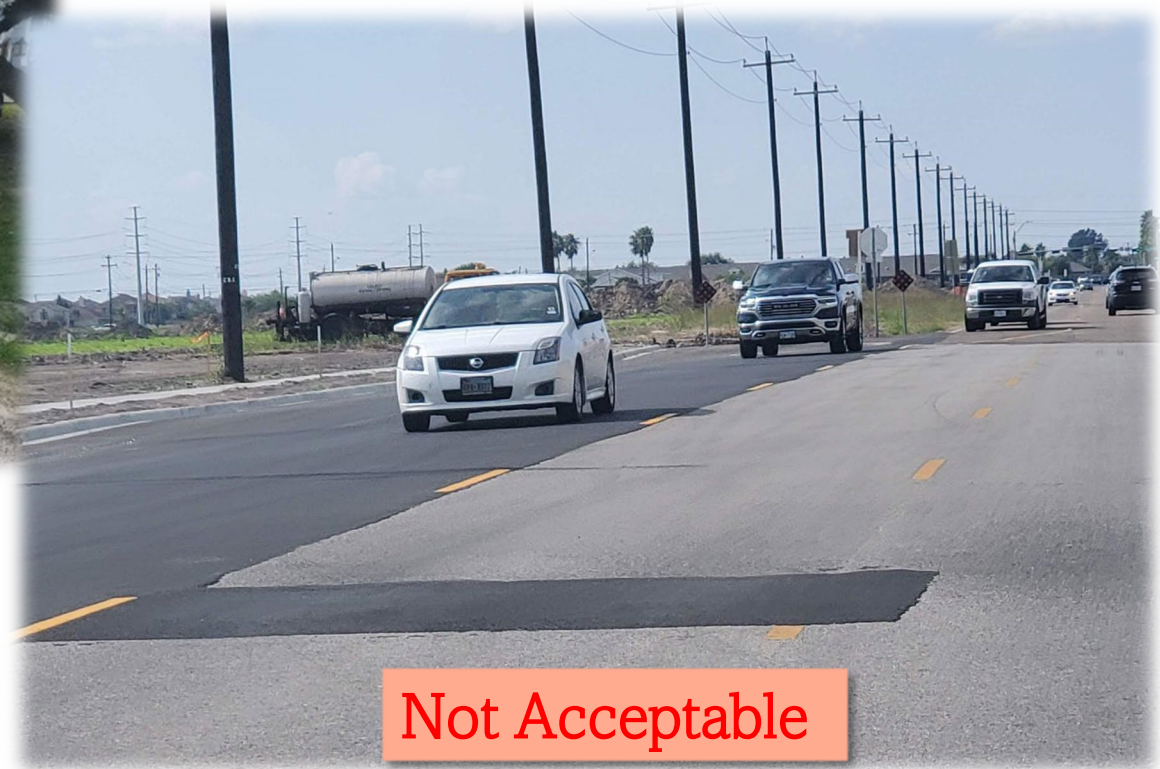
- *Reason why the excavation was not performed prior to construction /reconstruction.*
- *Reason why excavation cannot be delayed.*
- *Reason why excavation cannot be performed at another location or via another method.*



STREET CUTS



Not Acceptable



Not Acceptable



Acceptable
Based on current standards



PROPOSED POLICY



City	Rank	New Street	Restoration Requirements
Houston	1	N/A	<u>WIDTH</u> : Surface mill & overlay full width of lane(s) to nearest lane divider beyond edge of excavation. <u>LENGTH</u> : Minimum length of surface mill along travel way is 10-ft.
San Antonio	2	PCI: ≥ 86	Reconstruct block to block & curb to curb.
Dallas	3	PCI: ≥ 70	Surface treatment w/ slurry seal, micro-surfacing, or an equivalent method approved by the director. The application of slurry seal or micro-surfacing must be made to the entire block of the street in which a cut is made. For an undivided street, the application must be made from curb to curb, and for a divided street, from median curb to outside curb. No surface treatment is required if the repairs are made to match pavement color and are approved by the director.
Austin	4	Paved portion of the right-of-way that has been constructed/reconstructed for at least 300 feet with a minimum of 1½ inches of HMA or joint to joint w/ Portland cement concrete (PCC): * ≤ 7 YRS for a collector or arterial street. * ≤ 5 YRS for a residential street or alley. *A collector or arterial street ≤ 7 years old w/a riding comfort index ≥ 7 .	Pavement plan. Replace full traffic lane for the total length of the repair project.
Fort Worth	5	1. < 2 YRS 2. 2 to 10 years or greater than 85 PCI 3. > 10 years and less than 85 PCI	1. Repave block to block, curb to curb. 2. Overlay half of pavement, curb to centerline, for 50 feet in length. 3. Overlay 1 lane width (~ 12') for 30 feet in length.
El Paso	6	Parallel cuts, $> 50\%$ of ROW width	Curb to curb.
Arlington	7	≤ 5 YRS & $>$ than 1-inch	Full-width, curb to curb (10-ft min, length)
Corpus Christi	8	* < 7 YRS for a collector or arterial street. * < 5 YRS for a residential street or alley. *Any street with PCI > 85 .	Subject to special conditions from Director
Plano	9	≤ 3 YRS	Submit restoration plan. Refer to North central Texas standard specifications for public works construction.
Lubbock	10	1. New: < 5 YRS 2. Good: PCI > 85	1. New: Submit restoration plan 2. Good: Curb to Curb ($> 25\%$ of the asphalt street surface ; $\geq 50\%$ or thoroughfare street)



PROPOSED POLICY



- ❖ New Street: Any street improved with surface treatments within the preceding **seven (7) years** or any street w/ **PCI > 70**.

The following work requirements shall be required for streets granted a permit:

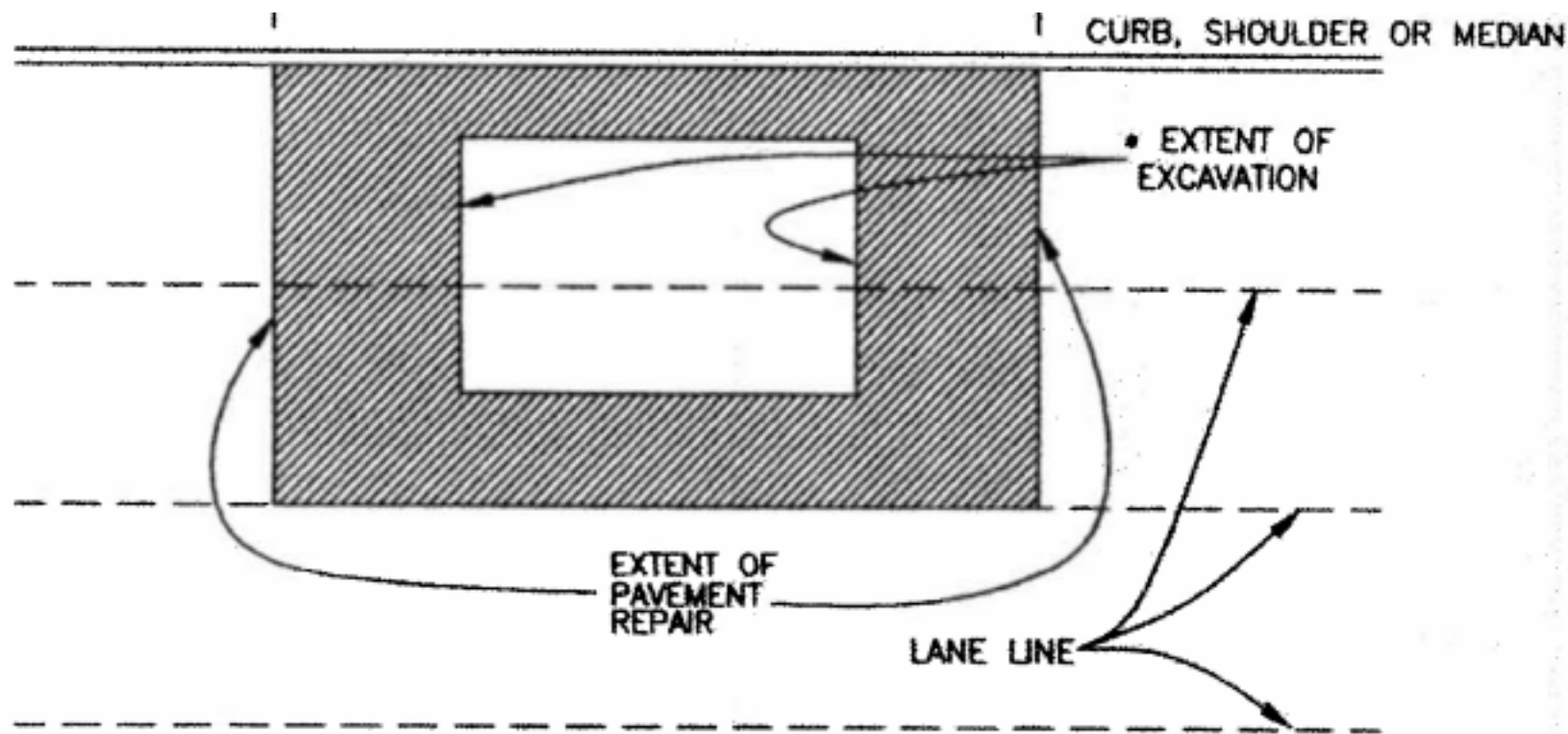
- Any Street Classification (> 7 Yrs or PCI < 70):
 - 3" Overlay (min);
 - Width: Full Lane;
 - Length: 10-ft (min) beyond outermost edge of excavation.
- Any Street Classification (2-7 Yrs or PCI > 70): ← **New Streets**
 - 3" Overlay (min);
 - Curb to Curb;
 - Length: 25-ft (min) beyond outermost edge of excavation.
- Arterial & Collector, or Residential Street (0-2 Yrs) ← **New Streets**
 - 2" Overlay (min);
 - Curb to Curb; Block to Block.
- Residential Street (0-2 Yrs) ← **New Streets**
 - Min. 3" overlay;
 - Curb to Curb;
 - Length: 10-ft (min) beyond outermost edge of excavation.



PROPOSED POLICY



Work Requirements for Any Street (>7Yrs or PCI <70):



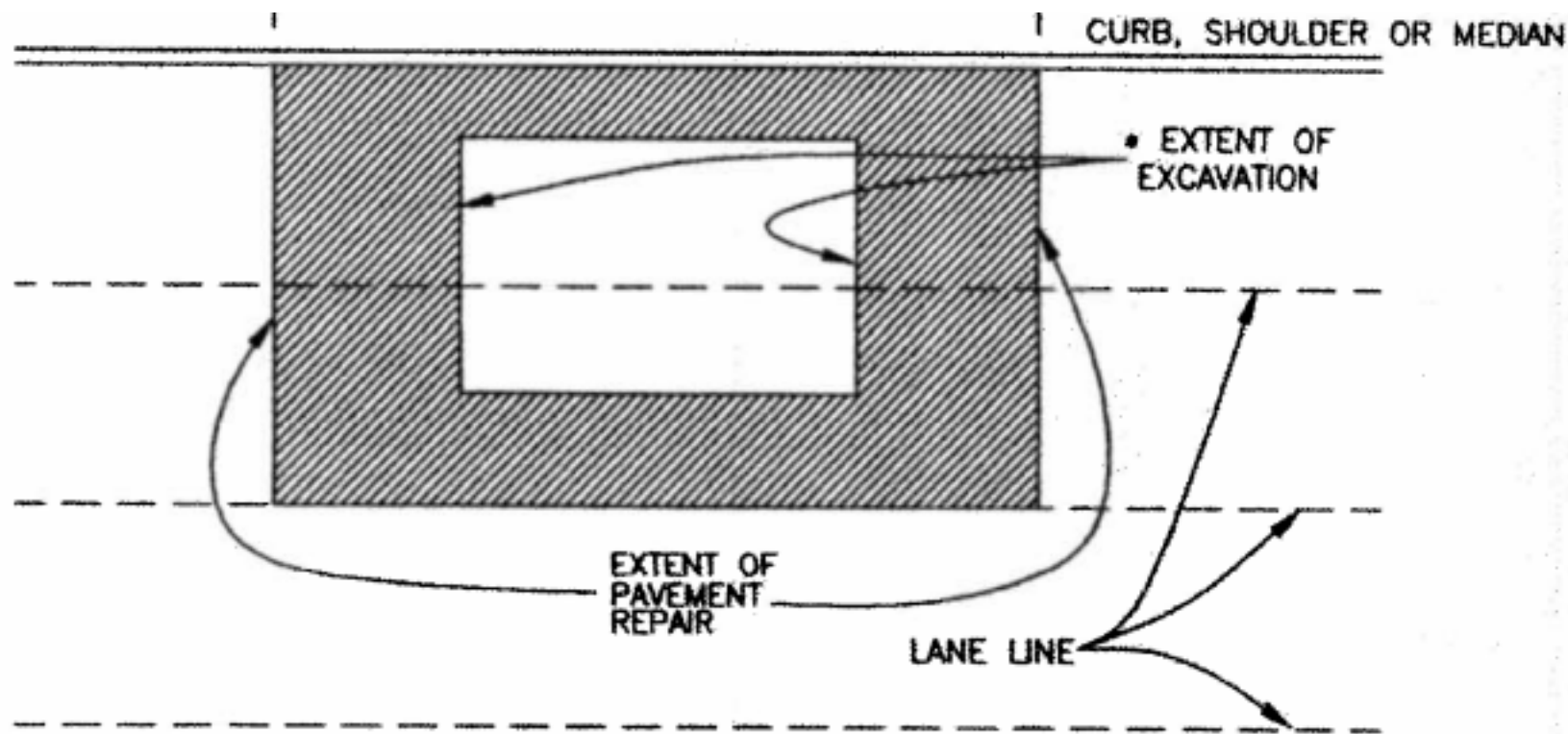
Note: Extent of Pavement Repair 10' beyond edge of excavation



PROPOSED POLICY



Work Requirements for Any Street (2-7 Yrs or PCI > 70):



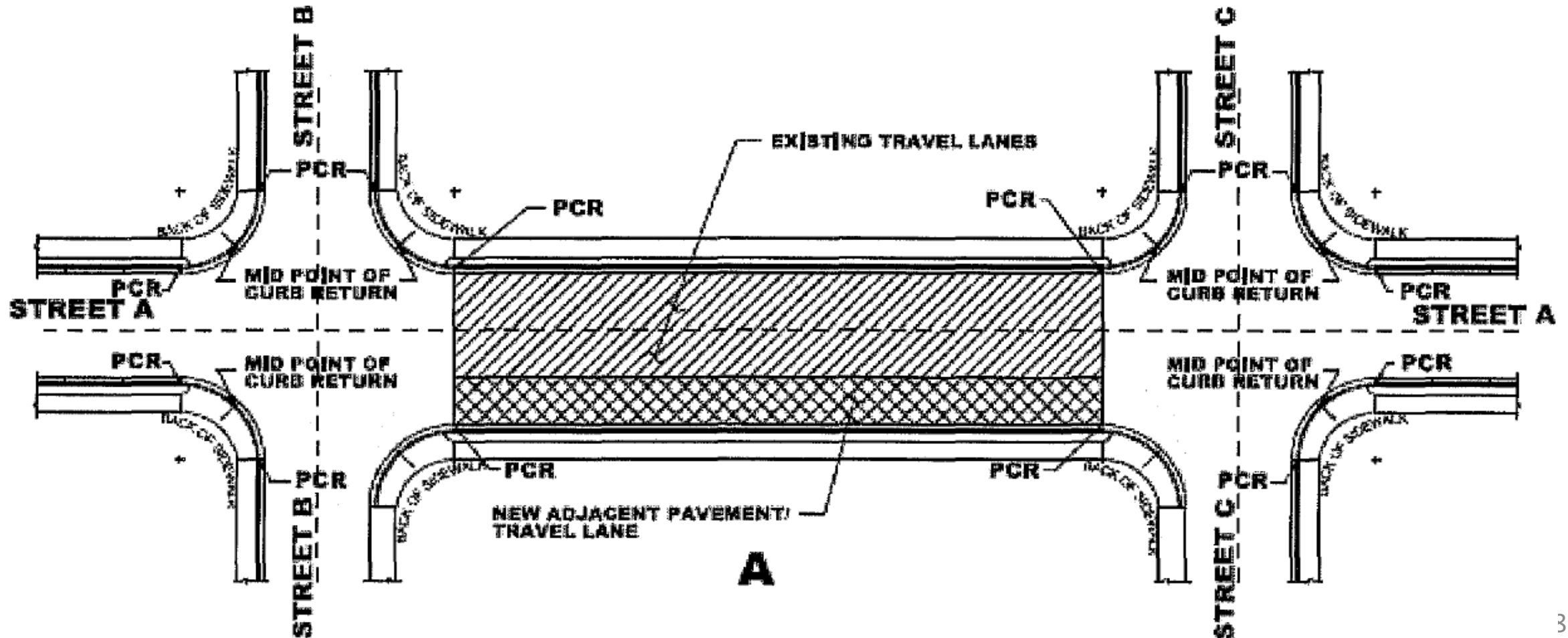
Note: Extent of Pavement Repair 25' beyond edge of excavation



PROPOSED POLICY



Work Requirements for Arterials and Collectors (0-2 Yrs)

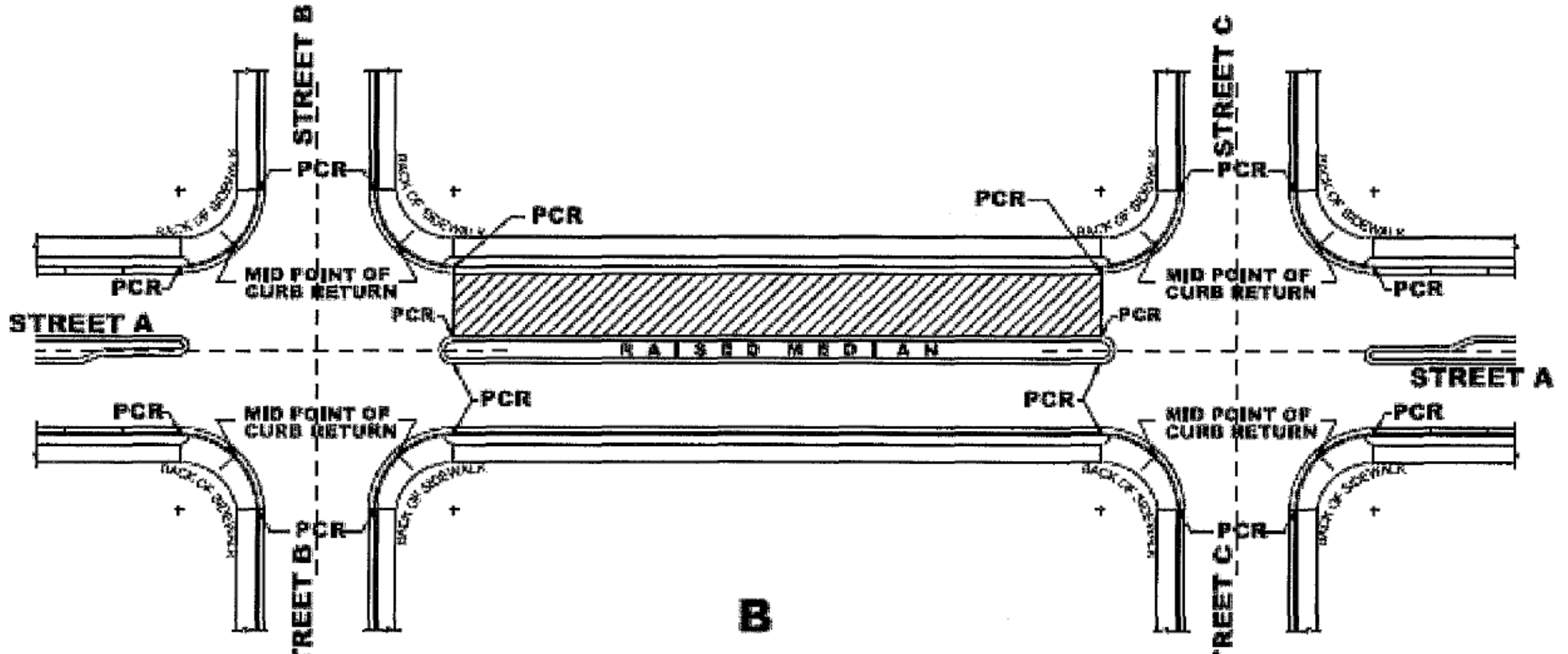




PROPOSED POLICY



Work Requirements for Arterials and Collectors (0-2 Yrs)



ROW MANAGEMENT WEBSITE

APPLICATIONS

FEES



PROCESS

CONTACTS

<https://www.cctexas.com/row>

**Corpus Christi Builders
Meter Set Requests**

September 2023



What you need to know for Meter Set Requests





First, where to send meter set requests

One email:

ccgasmeter@cctexas.com

The basic 4 **before** requesting a Meter Set

1. You must have a permit with the Gas Tap Fee paid with Development Services; \$1,600 Commercial or \$200 Residential.
2. You must have a Gas Tap/Riser installed prior to requesting a Meter Set. Gas Taps can take up to 15-20 business days due to digging and complexity, so request the TAP not the METER as soon as your plumber has installed the connection on the house and your Tap fee has been paid.
3. Your Plumbing Final Must be signed off/approved by Development Services.
4. The last step is to Email a Meter Set Release Request to ccgasmeter@cctexas.com with the correct BTU loads – Sample Email next slide.



A Sample Email Request

May I please schedule a gas meter for this location?

Address *(type in the Address)*

Builder *(type in the Builder Name)*

Contact *(the Name and phone number of the contractor / builder)*

Plumbing Company *(the Name and phone number of the plumber)*

Gas Appliances: *dryer, stove, water heater*

BTU 100,000

Permit R1111111

Thanks!

Be as accurate as possible in supplying the Total BTU load.

Avoid Delays – Supply Accurate BTU Loading Information

Tankless or Instant
Gas Hot Water Heaters



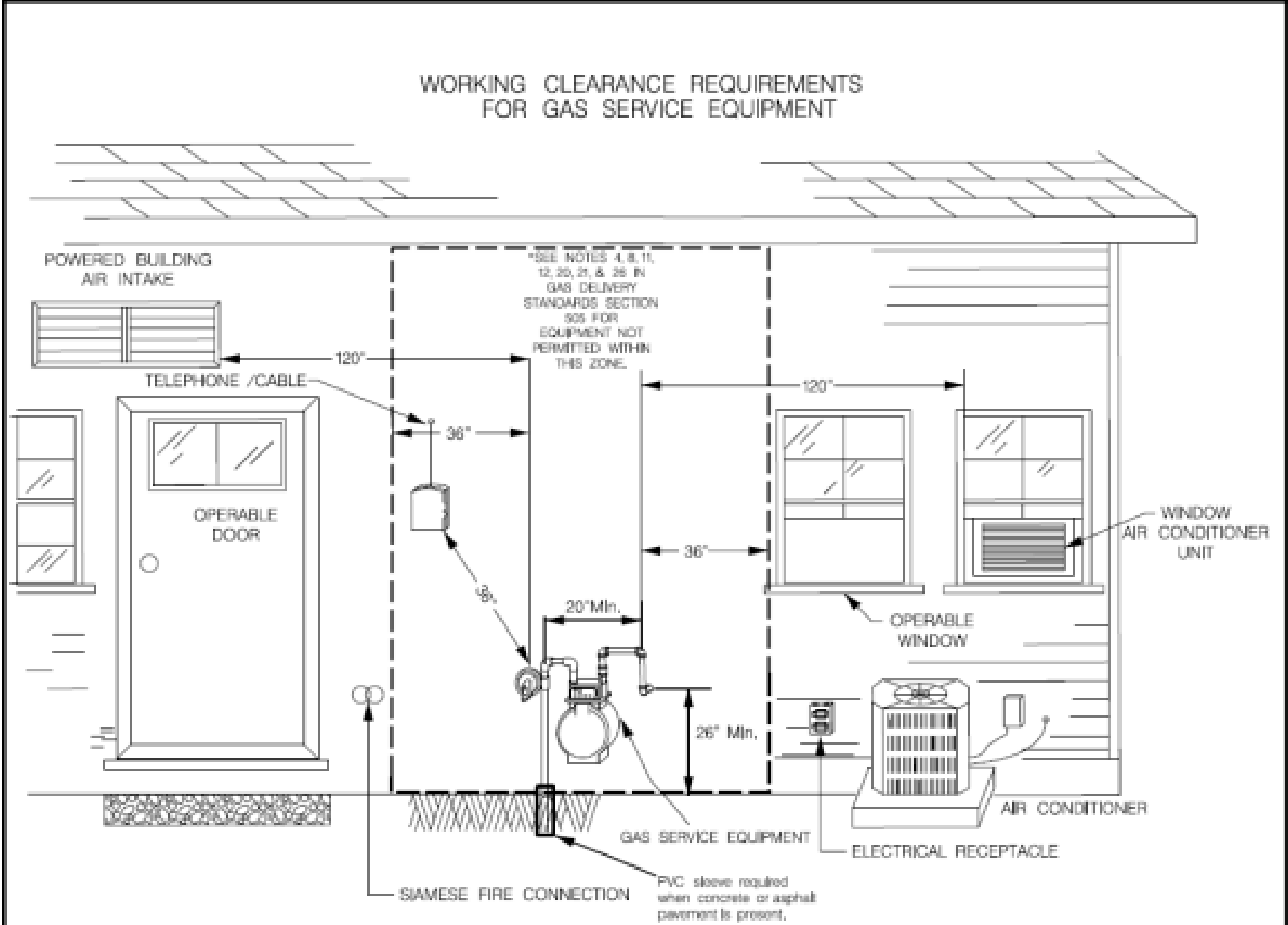
Different Meter and Dials for Different Loads

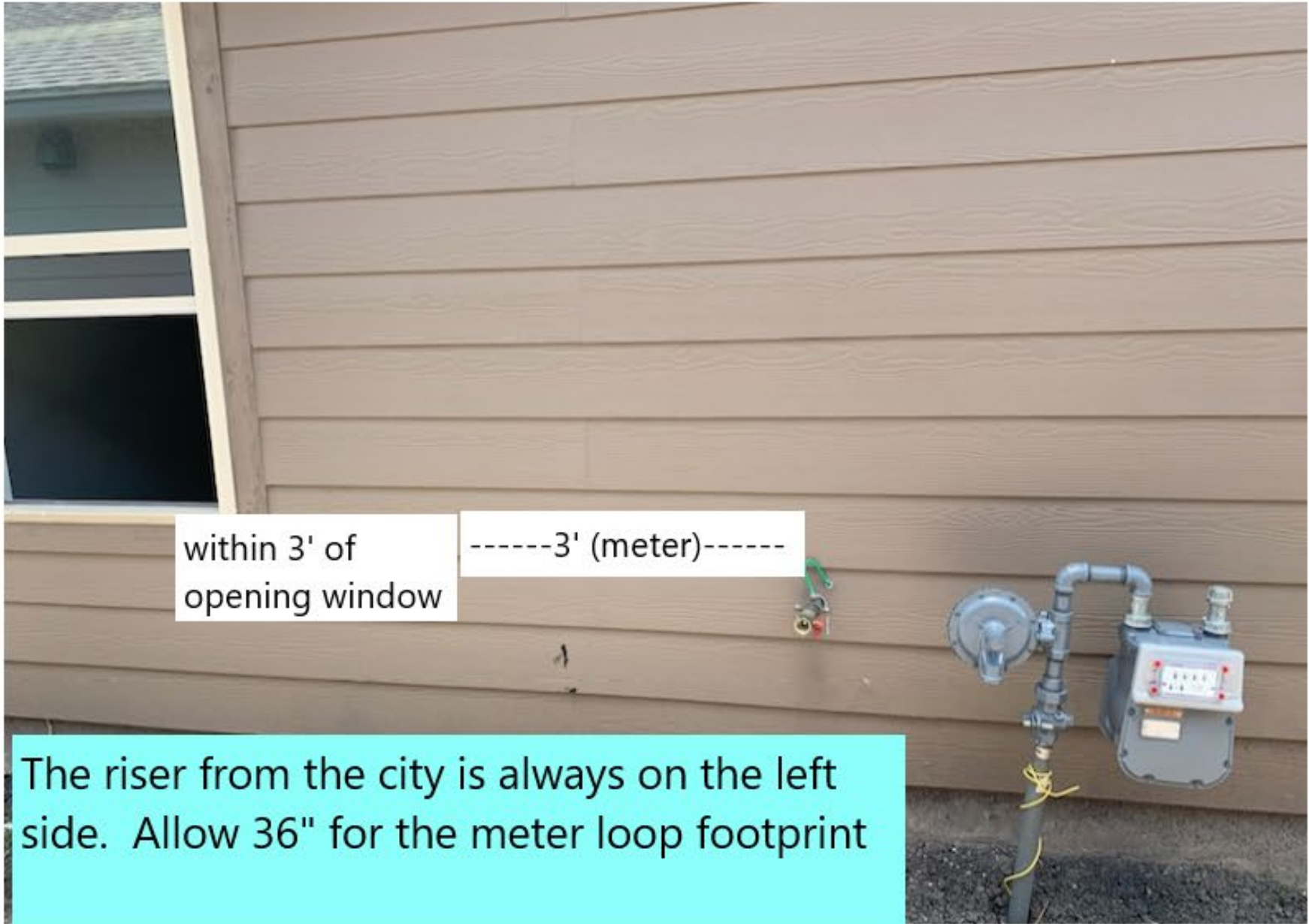
Your Meter is Now Being Set!

The meter set is typically within 2 Business days of your email request.

There must be an owner's representative present during a Meter Set. Ideally, this is the person who is also authorized by the builder, to sign the rebate form. The Gas Utility Technician must be able to enter the house during the Meter Set.

Follow code regarding the Gas Stub Location





within 3' of opening window

-----3' (meter)-----

The riser from the city is always on the left side. Allow 36" for the meter loop footprint

Thank you

**Questions? Contact the Maintenance and
Operations Gas Superintendent, Paul Vandehey, at
(361) 215-2337**

New Certifications -

Bill Wittliff

Senior Plumbing/
Mechanical Inspector

- *Certified Building Official*

Tim Stewart

Inspector II

- *Residential Building Inspector*

Martin Garcia

Inspector II

- *Residential Electrical Inspector*



LAND DEVELOPMENT

Legislative Update

**Trust Fund Update & City
Participation Fund Update**

2023 Legislative Update



SB 929 – Amends Chapter 211, Local Government Code

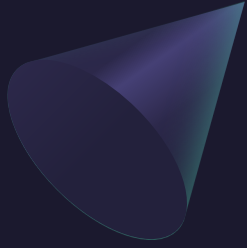
- Requires notice to each owner and each occupant of rezoning or zoning regulation change that creates a non-conforming use to be mailed no later than 10 days prior to each public hearing.
- If municipality imposes a requirement to stop a non-conforming use, owner is entitled to compensation.

HB 3699 – Amends Chapter 212, Local Government Code

- Requires city to publish approved list of items required for a plat application submittal on Web site.
- Expands municipality's ability to administratively approve plats (beyond administrative plats, minor plats).
- City may not require right-of-way dedication for future street/alley, if not intended by the owner, and not included, funded, and approved in a CIP.

HB 14 – Amends Chapter 247, Local Government Code

- Allows Third-party review/inspection if development permit, plat, or plan is not approved, conditionally approved, or disapproved by the 15th date after date prescribed for approval. May provide notice of results and may appeal decision to governing body.



TRUST FUND BALANCE

**Available Combined Trust Funds
Balance as of 08.31.2023
(Unaudited) was **\$251,358.14****

**Individual Trust Fund Balance
Break Down:**

Water Arterial Transmission & Grid Main Trust	Water Distribution Main Trust	Sanitary Sewer Trunk System Trust	Sanitary Sewer Collection Line Trust
\$58,854.16	\$13,175.37	\$460,897.71	\$10,904.18

Pending:

- Oso Creek Corner (Reimbursement) – Wastewater Trunk System - \$433,882.50
- Oso Creek Corner (Reimbursement) – Wastewater Collection System - \$356,613.35
- Oso Creek Corner (Reimbursement) – Water Distribution System - \$1,087,852.60
- Padre Island No. 1 (Reimbursement) – Wastewater Collection System - \$1,274,863.00
- London Ranch Estates (Reimbursement) – Water Distribution System - \$1,364,382.00

CITY PARTICIPATION

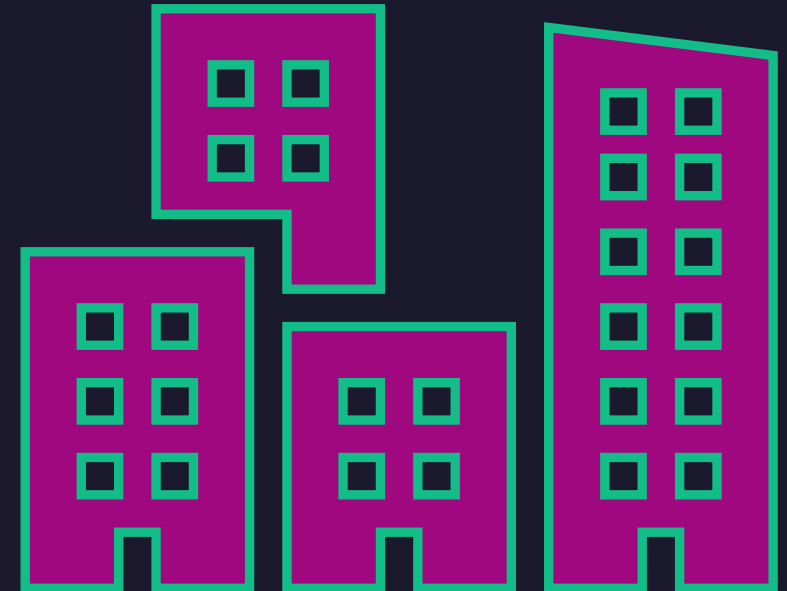
Available Balance Participation Funds as of 04/30/2023

- Bond 18 - \$1,324,078.11
- *Note: There were no City Participation Funds allocated in the 2020 Bond initiative*
- *Note: There are no City Participation Funds proposed for the 2022 Bond Initiative*

City Participation Activity FY 2022-2023:

Approved:

Kings Landing Unit 2 – Street Participation - \$192,253.75 – Approved 12.20.2022



CODE COMPLIANCE DIVISION



**CODE COMPLIANCE
MONTHLY REPORT
AUGUST 2023**





CODE COMPLIANCE MONTHLY REPORT

AUGUST 2023

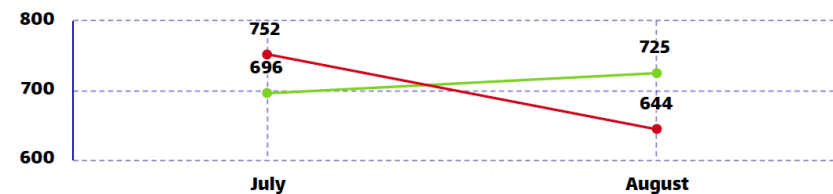
The Code Compliance Division of Development Services has shifted to a holistic compliance approach, focusing efforts from the outside (strategic, big picture) toward the inside, to improve the aesthetics, appearance, and perception of the City of Corpus Christi.

The following report illustrates the efforts of the Code Compliance district teams to bring commercial and residential properties into compliance through education and building relationships with our citizens.

Code Compliance initiated 1,369 new cases in August and completed 1,994 total inspections.

- 725 cases were proactively picked up by officers
- 644 cases were complaint-driven, via the 311-call center

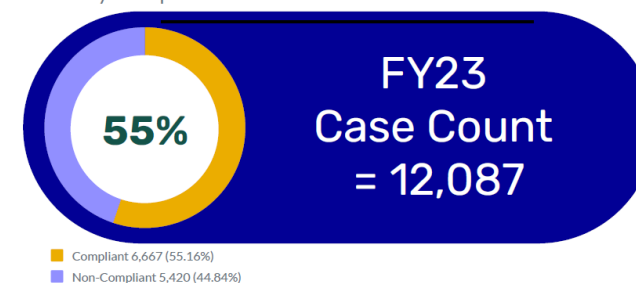
Case Initiation Comparison - Proactive vs Complaint-driven



4th Quarter FY23

Proactive Cases Compliant Driven Cases

Voluntary Compliance Rate



Please reach out to our Senior Compliance Officers with any code compliance questions or concerns. Their contact information is on each District report page.

Assistant Director, Tracey Cantu at TraceyC@cctexas.com / 361.826.3021 and Director, Al Raymond at Alraymond@cctexas.com / 361.826.3575 are also available to answer questions or concerns.



District 1

Senior/Lead Compliance Officer - Mike Shelton
361.945.0275 | mikesh@cctexas.com
Compliance Officers - Alex Gonzales, Sam Gomez, Ruben Hernandez, Tarcisus Romawac

Compliance Cases Initiated	427	Next BSB Hearing - Sept. 28	
Inspections Completed	548	Abatements Completed	33
Tall Grass / Weeds	369	Mowing & Debris Removal	17
Building Permits Required	6	Structures Secured (Board-ups)	3
Emergency Demolitions	4	Site Secured (Perimeter Fencing)	0
Emergency Measures	4	Illegal Signs Removed	9
Illegal Dumping	1	Junked Vehicles Removed	0
Illegal Signs	11	Emergency Demolitions	3
Junked Vehicles	34	Emergency Measures - Bees	1
Parking on Unimproved Surfaces	4	Substandard Building Demolitions	0
Property Maintenance Standards	46	Abatements Pending	103*
Short-term Rentals	0	Mowing & Debris Removal	87
Substandard Buildings	4	Structures Secured (Board-ups)	17
Unsecured Vacant Buildings	21	Site Secured (Perimeter Fencing)	0
Water Restrictions	9	Junked Vehicles Removed	0
Zoning	35	Emergency Demolitions	1**
Notices of Violations Issued	368	Substandard Building Demolitions	0
Citations Issued	116		

* Man-power shortage for abatement contractors.
** 30 Day extension granted for demolition by owner.

Status of High Profile Properties

- 3170 Buddy Lawrence Drive - Occupied Property | Zoning violation - Vehicle repair business on a residential property. Reinspection on 08/23/23 - progress being made; extension granted.
• Current Status - in (partial) compliance; Anticipated reinspection scheduled for week of 09/11/23.
- 3174 Buddy Lawrence Drive - Occupied Property | Zoning violation - Vehicle repair business on a residential property. Reinspection on 08/23/23 - progress being made; extension granted.
• Current Status - in (partial) compliance; Anticipated reinspection scheduled for week of 09/11/23.
- 737 W. Cornelia Drive - Occupied Property | Zoning violation - Heavy machinery stored on residential property. Reinspection on 08/23/23 - progress being made; extension granted.
• Current Status - in (partial) compliance; Anticipated reinspection scheduled for week of 09/11/23.

District 1

District 2

Compliance Officer - Thomas Chapa III
361.945.0286 | thomasc6@cctexas.com
Compliance Officers - Julie Reyna, Javier Hernandez, Sherman Dixon, Thomas Rios

305	Next BSB Hearing - Sept. 28	
417	Abatements Completed	47
283	Mowing & Debris Removal	15
0	Structures Secured (Board-ups)	3
3	Site Secured (Perimeter Fencing)	0
0	Illegal Signs Removed	29
2	Junked Vehicles Removed	0
29	Emergency Demolitions	0
13	Emergency Measures - Bees	1
3	Substandard Building Demolitions	0
26	Abatements Pending	82*
0	Mowing & Debris Removal	67
5	Structures Secured (Board-ups)	13
44	Site Secured (Perimeter Fencing)	0
4	Junked Vehicles Removed	0
5	Emergency Demolitions	1**
4	Emergency Measures	
208	Substandard Building Demolitions	0
78		

* Man-power shortage for abatement contractors.
** 30 Day extension granted for demolition by owner.

High Profile Property

...ed for unsafe and substandard conditions. CCPD conducted a sweep of persons. Code Compliance began securing all openings of the 2nd-floor court.

...ty weekly to determine if any progress has been made to bring the property into compliance. Code enforcement action is needed to address violations.

District 2

District 3

Compliance Officer - Grace Elledge
361.945.0213 | gracee@cctexas.com
Compliance Officers - Steven Arredondo, Diana T. Garza

256	Next BSB Hearing - Sept. 28	
433	Abatements Completed	91
251	Mowing & Debris Removal	11
1	Structures Secured (Board-ups)	1
1	Site Secured (Perimeter Fencing)	0
0	Illegal Signs Removed	79
0	Junked Vehicles Removed	0
0	Emergency Demolitions	0
0	Substandard Building Demolitions	0
117	Abatements Pending	62*
4	Mowing & Debris Removal	56
17	Structures Secured (Board-ups)	5
0	Site Secured (Perimeter Fencing)	0
0	Junked Vehicles Removed	0
0	Emergency Demolitions	1**
0	Emergency Measures	0
15	Substandard Building Demolitions	0
5		
10		
148		
79		

** Man-power shortage for abatement contractors.
* 30 Day extension granted for demolition by owner.

High Profile Properties

SPID was inspected on 08/11/2023 and was found in violation of code for unkept sidewalk, curbs, and gutters...citations have been issued for the property.

...retailers at this location were inspected for accumulation of litter & solid waste...a maintenance inspection was conducted and found the property in violation.

District 3

- 3. PetsMart @ 5214 Blanche Moore Drive... On 08/11/2023, a compliance inspection was conducted and property was found in violation for accumulation of litter & solid waste...citations have been issued for the violations.

District 4

Compliance Officer - Estella Padron
361.945.0197 | estellas@cctexas.com
Compliance Officers - Todd Shangraw, Jorge Ortiz, Hazal Prado

264	Next BSB Hearing - Sept. 28	
448	Abatements Completed	87
240	Mowing & Debris Removal	0
0	Structures Secured (Board-ups)	0
0	Site Secured (Perimeter Fencing)	0
1	Illegal Signs Removed	86
133	Junked Vehicles Removed	0
22	Emergency Demolitions	0
3	Emergency Measures - Bees	1
14	Substandard Building Demolitions	0
6	Abatements Pending	29*
0	Mowing & Debris Removal	27
7	Structures Secured (Board-ups)	2
5	Site Secured (Perimeter Fencing)	0
17	Junked Vehicles Removed	0
134	Emergency Demolitions	0
90	Substandard Building Demolitions	0

* Man-power shortage for abatement contractors.
** 30 Day extension granted for demolition by owner.

High Profile Properties

12 Naval Air Station Drive - Department reported a brush fire spread to nearby residential buildings...Emergency Demolition Order was issued. A 30-day extension was granted for the property. The 2nd residential structure has been demolished by the owner. The 2nd residential property. The owner is making repairs to bring the property into compliance.

...ital operating in the Island RS-6 Single-family Residential Zoning District...sued for STR violations.

District 4

- 15218 Reales - Vacant Residential Structure
 - Problem property for Code Compliance and CCPD. Both agencies monitor the property for code and criminal violations.
 - Attached garage suffered significant damage from a fire... deemed sub-standard and ordered demolished by BSB.
 - Working on an engineering consultation to safely deconstruct the garage and preserve the structural integrity of the main residential structure.

• Current Status - In violation

District 5

Compliance Officer - Josue Gomez
361.945.0256 | josueg2@cctexas.com
Compliance Officers - none assigned at this time

117	Next BSB Hearing - Sept. 28	
140	Abatements Completed	27
95	Mowing & Debris Removal	1
0	Structures Secured (Board-ups)	0
0	Site Secured (Perimeter Fencing)	0
0	Illegal Signs Removed	26
0	Junked Vehicles Removed	0
30	Emergency Demolitions	0
1	Substandard Building Demolitions	0
0	Abatements Pending	15*
1	Mowing & Debris Removal	12
4	Structures Secured (Board-ups)	3
2	Site Secured (Perimeter Fencing)	0
1	Junked Vehicles Removed	0
94	Emergency Demolitions	0
69	Substandard Building Demolitions	0

* Man-power shortage for abatement contractors.

High Profile Property

...ctions of the Kingsley Properties (old Kings Crossing Golf Course) to comply with City Ordinance Section 23-70 Tall Weeds, requiring the properties to be maintained.

...at make up the old golf course were found in violation of the tall weeds ordinance...per property for a total of 15 citations for the violations.

District 5

FULL REPORT CAN BE VIEWED HERE:
Code Compliance Monthly Reports | City of Corpus Christi (cctexas.com)

BUILDING DIVISION

New INFOR Update

2021 International
Codes
Effective
August 1st, 2023

DSD Training
Schedule



DSD Free Training

- September 20th – Electrical Pt. 2
- October 4th – Plumbing Mechanical Review
- October 18th – Accessibility & Customer Service in the Field
- November 1st – GAF Timberline Solar (Rep from Texas State Roofing Company)

Sessions:

8:00am – 10:00am

Location: Development Services Building 2406 Leopard St. Corpus Christi, TX 78408

Director's Report

- Master Planning & Impact Fee / Capital Improvements Advisory Committee (CIAC) Meeting Schedule
- DSD & Code Compliance FY 23/24 Budget
- One-Stop Shop Discussion
- Winter Break 2023
- Performance & Metrics – August 2023
- Vacancy Rate – August 2023
- Questions, Comments, & Suggestions



**DEVELOPING
OUR FUTURE
CORPUS CHRISTI**

Master Planning & Impact Fee Study

Meeting Schedule Update

- **Sept 19, 2023** / Council Approval of Setting Land Use and CIP Hearing
City Hall (1st Floor Council Chambers)
- **Sept 21, 2023** / Approval of Wastewater Master Plan, Roadway Impact Fee Review & Stormwater Impact Fee Review with Council Recommendations
City Hall (6th Floor Conference Room) – 11:30am – 3:30pm
- **Oct 4, 2023** / Planning Commission Public Hearing on Land Use and Master Plan CIP Projects
City Hall (6th Floor Conference Room)
- **Oct 19, 2023** / Wastewater Impact Fee Review with Council Recommendations
City Hall (6th Floor Conference Room) – 11:30am – 3:30pm
- **Oct 31, 2023** / City Council Public Hearing on Land Use and Master Plan CIP (1st Reading)
RTA Building (602 N. Staples St.)
- **Nov 7, 2023** / City Council Public Hearing on Land Use and Master Plan CIP (2nd Reading)
RTA Building (602 N. Staples St.)
- **Nov 7, 2023** / Council Approval of Setting Impact Fee Public Hearing
RTA Building (602 N. Staples St.)
- **Nov 09, 2023** / Water Impact Fee Review with Council Recommendations
City Hall (6th Floor Conference Room) – 11:30am – 3:30pm
- **Nov 15, 2023** / Planning Commission Public Hearing on the Proposed Impact Fees
City Hall (6th Floor Conference Room)
- **Dec 12, 2023** / City Council Public Hearing on the Proposed Impact Fees (1st Reading)
RTA Building (602 N. Staples St.)
- **Dec 19, 2023** / City Council Public Hearing on the Proposed Impact Fees (2nd Reading)
RTA Building (602 N. Staples St.)



**DEVELOPING
OUR FUTURE
CORPUS CHRISTI**

**FOR MORE INFORMATION
PLEASE VISIT:**

[Corpus Christi: Developing Our Future \(developing-our-future-cc.com\)](http://developing-our-future-cc.com)

FY 2024 Development Fee Schedule

Effective Oct. 1st, 2023

www.cctexas.com/ds



City of Corpus Christi
Development Services Department
FY 2024 Development Fee Schedule

FY2023 11/1/2023 – 10/31/2024

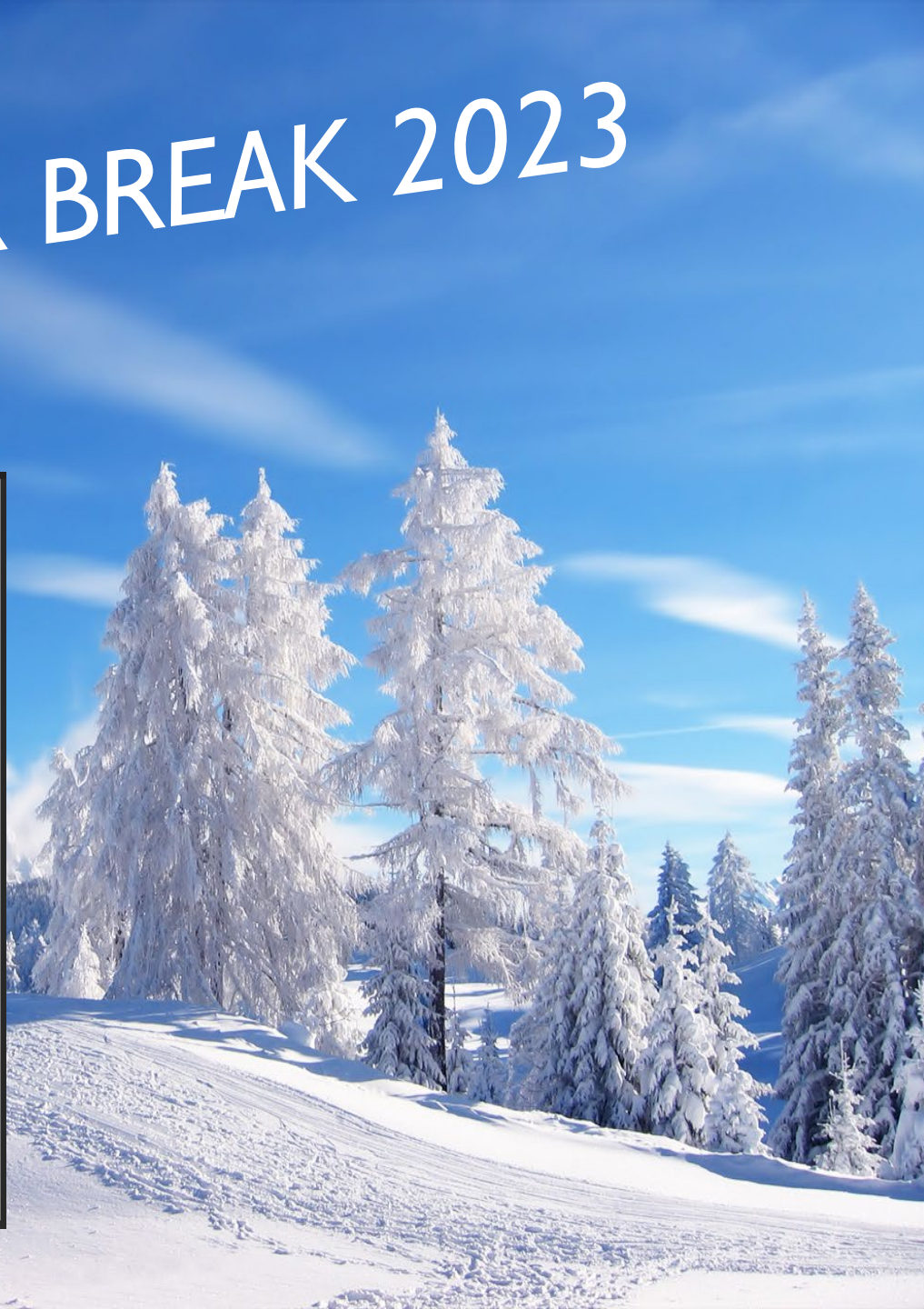
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WINTER BREAK 2023

DECEMBER 2023						
SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

JANUARY 2024						
SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

Printable Calendars by CompanyPioneers.Com



**December 25, 2023 –
January 1, 2024**

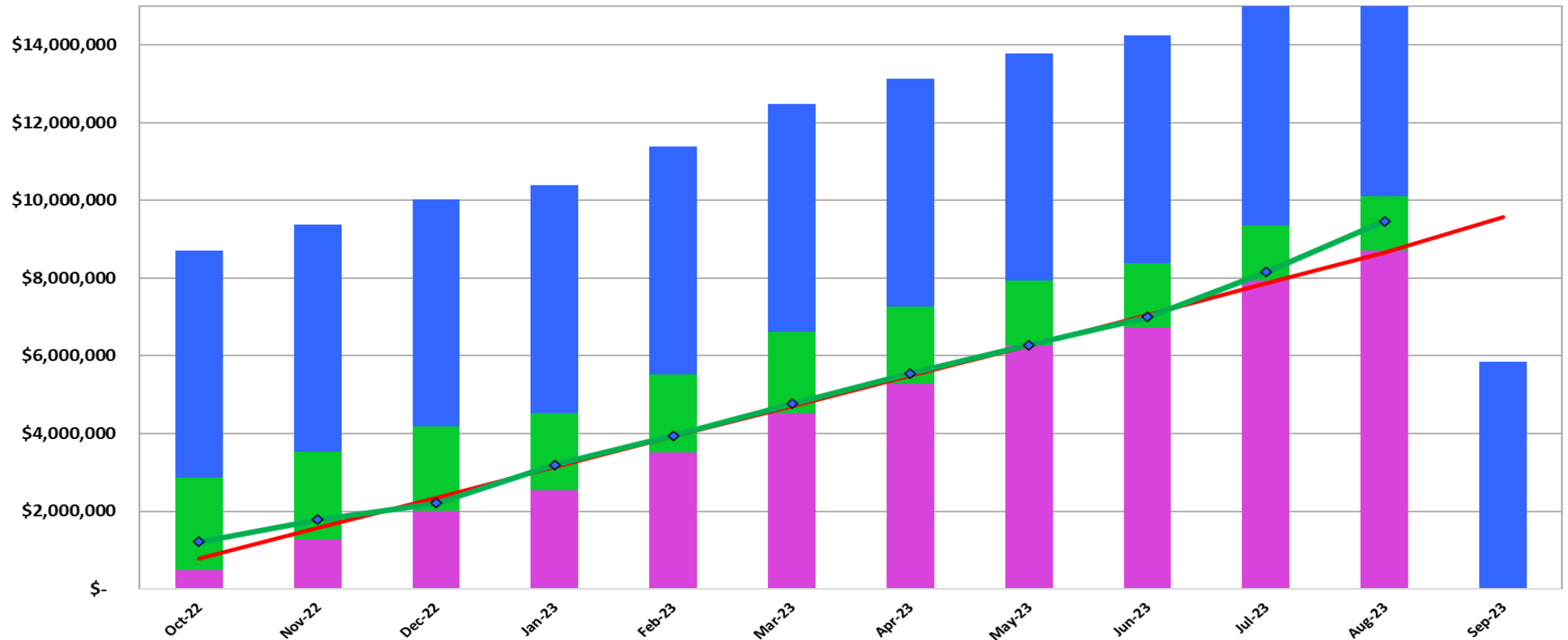
Returning January 2nd, 2024!

DSD PERFORMANCE METRICS

August 2023 Performance Metrics

- 1,201 Lobby Customers
- 5,104 Call Volume
- 1,740 Permits Issued
 - 98% Next Day Inspections (*Goal = 85%*)
 - 2 Residential Average Review Time (*Goal = 3 Days*)
 - 7 Commercial Average Review Time (*Goal = 10 Days*)
- 6 Zoning Applications Submitted
 - 6 Applications taken to Planning Commission
 - 4 Applications taken to City Council
 - 62 Average days to City Council (*Goal = Less than 90 days*)
- 18 Platting Applications Submitted
 - 17 Plats taken to Technical Review Committee (TRC)
 - 6 Plats taken to Planning Commission
 - 39 Average days to Planning Commission (*Goal = Less than 45 days*)
- 3 Public Improvement Plans (PIP) Submitted
 - 3 Public Improvement Plans Reviewed
 - 26 Average Review Time (*Goal = 15 Days*) *

**Development Services
Budget Vs. Actual Analysis
(As Of August 31, 2023)**



	Oct-22	Nov-22	Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23
Transfer to CIP - Building	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807	\$5,854,807
Outstanding PO's	\$2,378,933	\$2,250,000	\$2,160,401	\$1,997,600	\$2,017,345	\$2,097,140	\$1,984,340	\$1,661,646	\$1,648,441	\$1,419,627	\$1,407,403	
Actual Expenses	\$484,184	\$1,275,371	\$2,016,778	\$2,534,298	\$3,507,191	\$4,531,268	\$5,288,786	\$6,272,891	\$6,744,396	\$7,929,831	\$8,708,835	
Planned Revenue	\$780,016	\$1,570,843	\$2,351,569	\$3,137,635	\$3,920,266	\$4,703,934	\$5,489,187	\$6,272,429	\$7,058,438	\$7,875,558	\$8,661,782	\$9,581,948
Actual Revenue	\$1,210,396	\$1,781,556	\$2,211,709	\$3,193,133	\$3,941,536	\$4,764,299	\$5,546,336	\$6,280,169	\$7,004,547	\$8,156,932	\$9,466,689	

■ Actual Expenses
 ■ Outstanding PO's
 ■ Transfer to CIP - Building
 — Planned Revenue
 ◆ Actual Revenue

Vacancy Report

Division	Quarter 1 Vacancy Rate	Quarter 2 Vacancy Rate	Quarter 3 Vacancy Rate	July Vacancy Rate	August Vacancy Rate
Land Development	26.67%	26.67%	26.67%	20.00%	20.00%
Administration	12.50%	36.36%	27.27%	27.27%	27.27%
Inspection Operations	6.67%	25.45%	25.86%	27.59%	27.59%
Code Enforcement	NA	NA	NA	NA	32.56%
Totals:	11.76%	28.40%	26.19%	26.19%	26.86%

* Functional Vacancy Rate exclusive of Development Services is 12.68%

* Functional vacancy Rate for Code Compliance is 25.64%

QUESTIONS, COMMENTS, SUGGESTIONS...

Next Development Task Force Meeting
October 20, 2023

